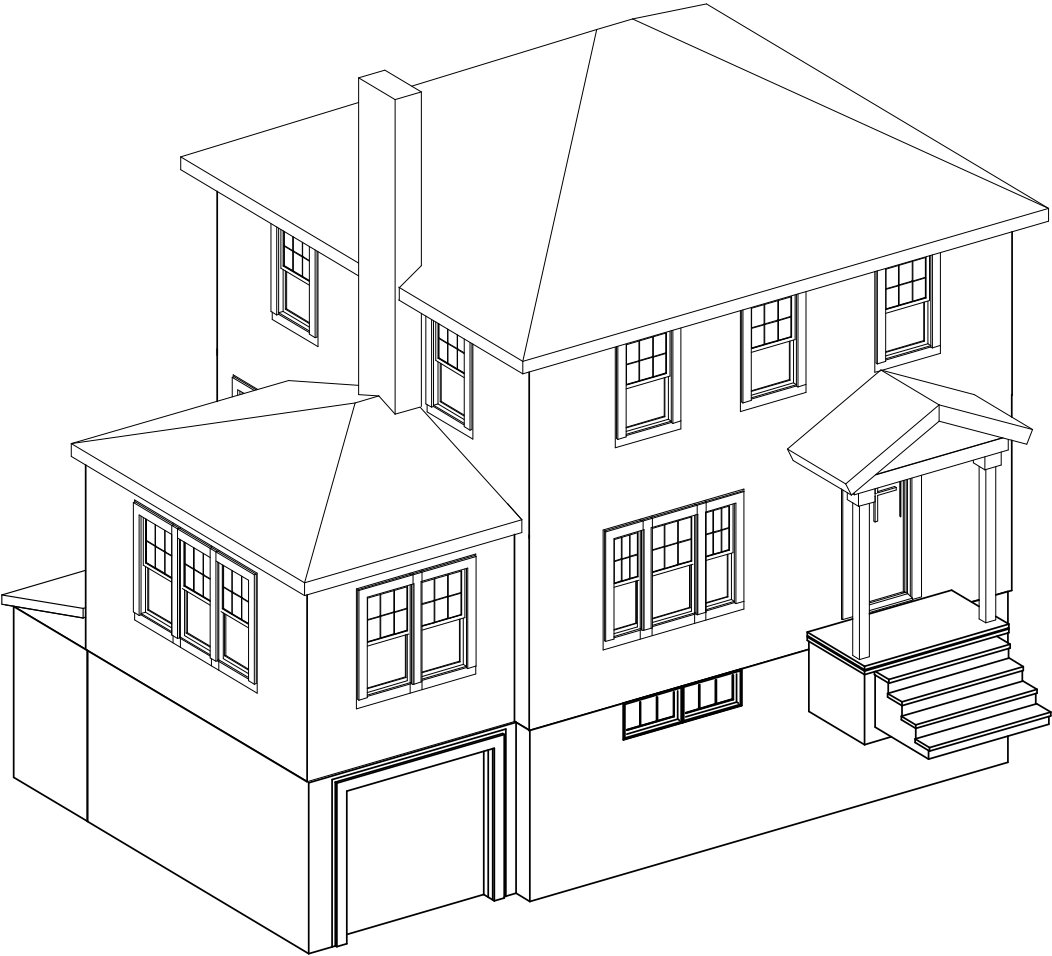


SCOPE:
TO ADD A BATHROOM OVER REAR OF EXISTING GARAGE. TO INCREASE 2ND FLOOR AREA BY ADDING A SECOND STORY ABOVE EXISTING GARAGE STRUCTURE.

SHEET #	DRAWING		ISSUE	PRINT SET
L-01	COVER / DRAWING INDEX		2/3/12	2/20/12
A-01	EXISTING FOUNDATION PLAN		"	2/20/12
A-02	EXISTING 1ST FLOOR PLAN		"	2/20/12
A-03	EXISTING 2ND FLOOR PLAN		"	2/20/12
A-04	PROPOSED 1ST FLOOR PLAN		"	2/20/12
A-05	PROPOSED 2ND FLOOR PLAN		"	2/20/12
A-06	NOT USED			
A-07	SCHEDULES: NOTES		"	2/20/12
A-08	FRONT ELEVATION		"	2/20/12
A-09	LEFT ELEVATION		"	2/20/12
A-10	REAR ELEVATION		"	2/20/12
S-01	1ST FLOOR FRAMING		"	2/20/12
S-02	2ND FLOOR FRAMING		"	2/20/12
S-03	WALL BRACING PLAN		"	2/20/12
S-04	ROOF FRAMING		"	2/20/12
S-05	SECTION A-A		"	2/20/12
S-06	BRACED WALL FRAMING DETAIL		"	2/20/12

SEE SWANSON STRUCTURAL INC. LETTER REPORT; 2/18/12



EXISTING STRUCTURE



PROPOSED STRUCTURE

Savage Residence
15 Evans Road

Needham, MA

Roger P. Toran
DESIGN ~ BUILD

57 Mary Chilton Road
Needham, Massachusetts 02492
781-444-5966
781-449-6727 FAX

Job Number: 0911

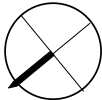
Drawn By: Roger P. Toran

Date: 20 June 2011

Revised: 20 Feb. 2012

Scale: 1/4" = 1'

DRAWING INDEX



L-01

NOTES

Existing garage foundation has been excavated and verified that it extends down 4' below existing grade.

Ⓢ/Ⓟ SMOKE DETECTOR

Smoke detector location to be verified by builder and by Fire dept.

All Smoke detectors to be interconnected with battery backup and CO detection.

Builder to provide 5/8" firecode board to isolate garage wood structure from living space

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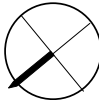
Drawn By: Roger P. Toran

Date: 20 June 2011

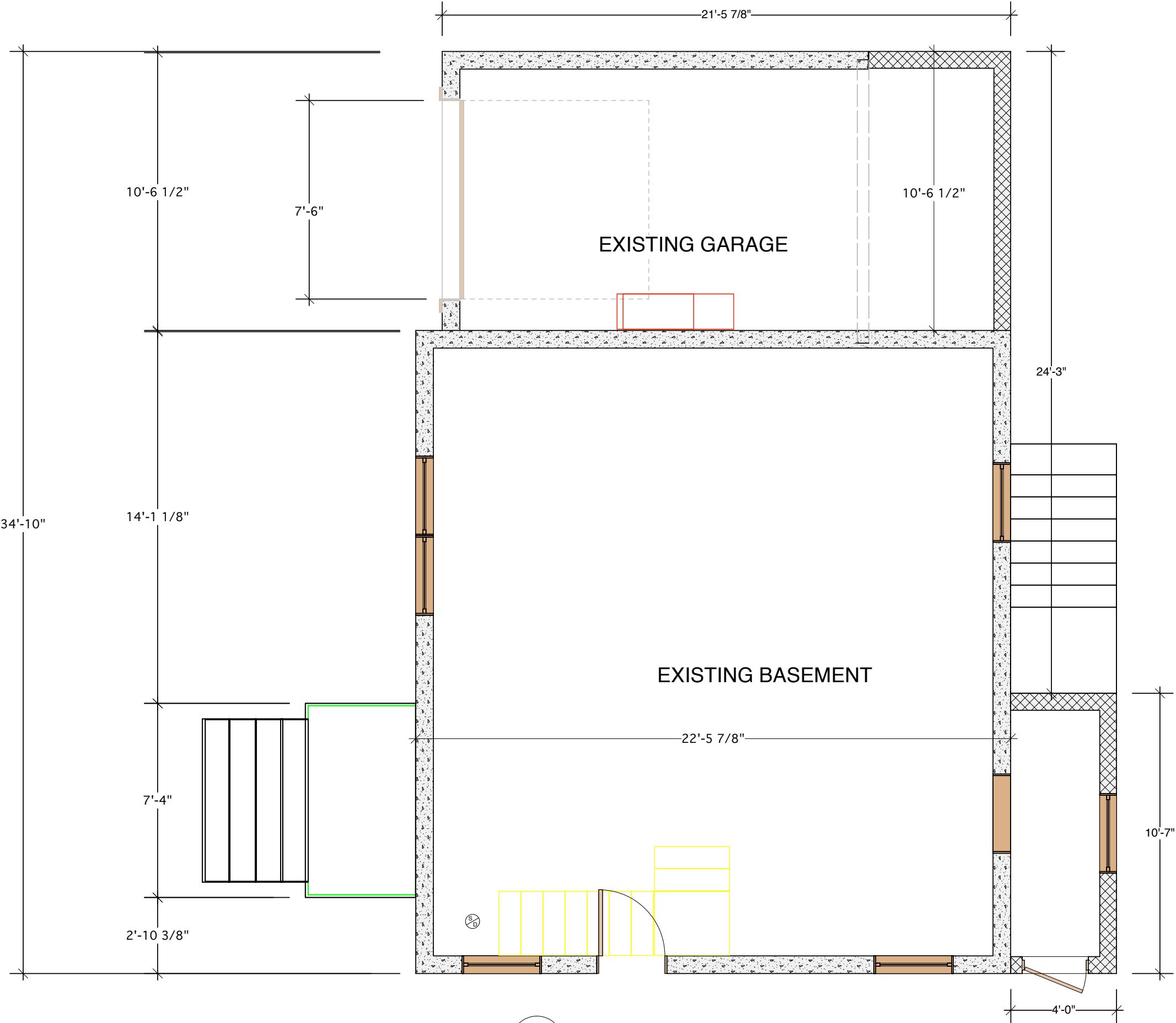
Revised: 20 Feb. 2012

Scale: 1/4" = 1'

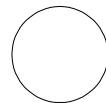
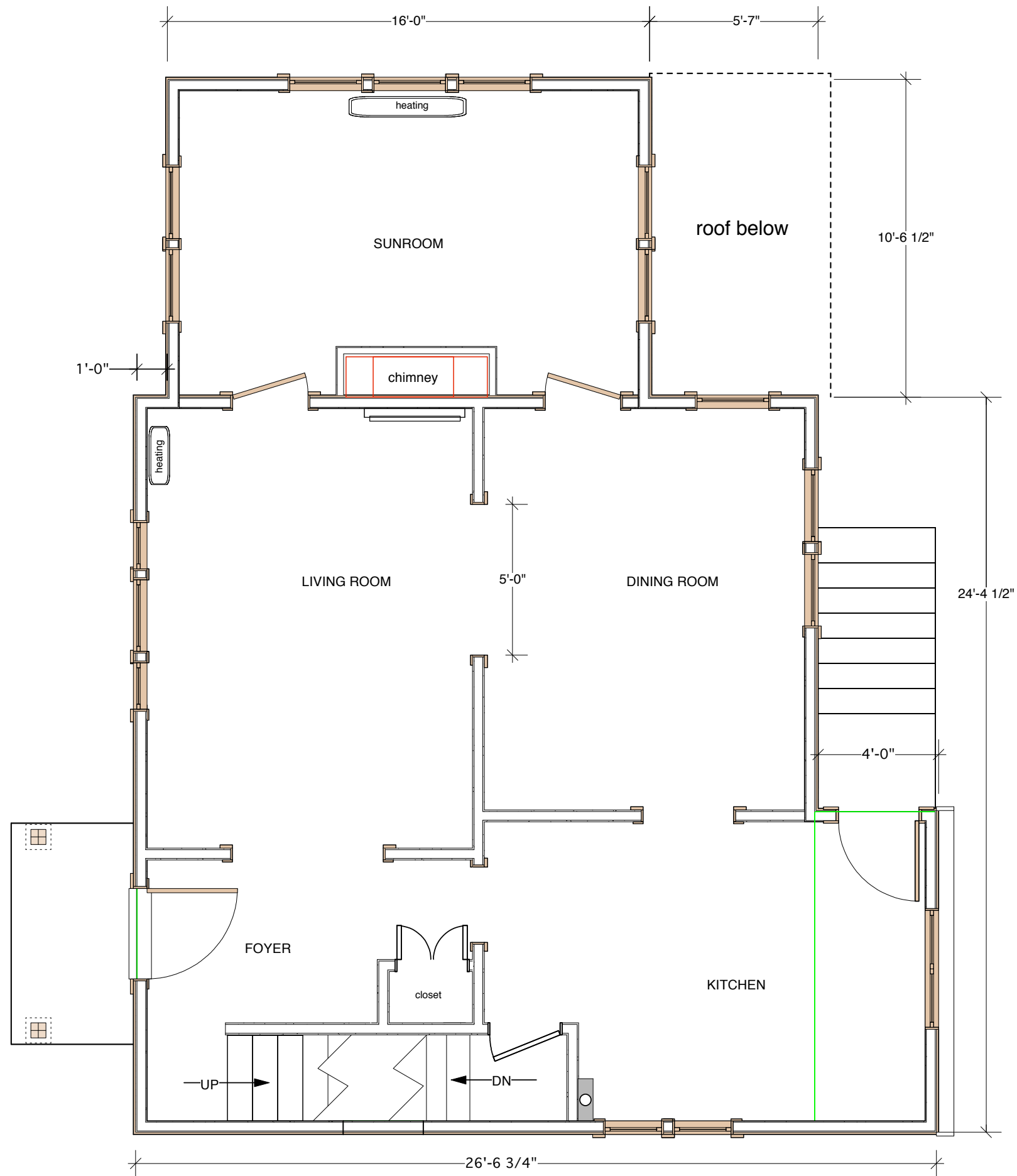
EXISTING FOUNDATION PLAN



A-01



Existing Foundation Plan
Scale: 1/4" = 1'-0"



Existing First Floor Plan
Scale: 1/4" = 1'-0"

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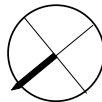
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Date: 20 June 2011

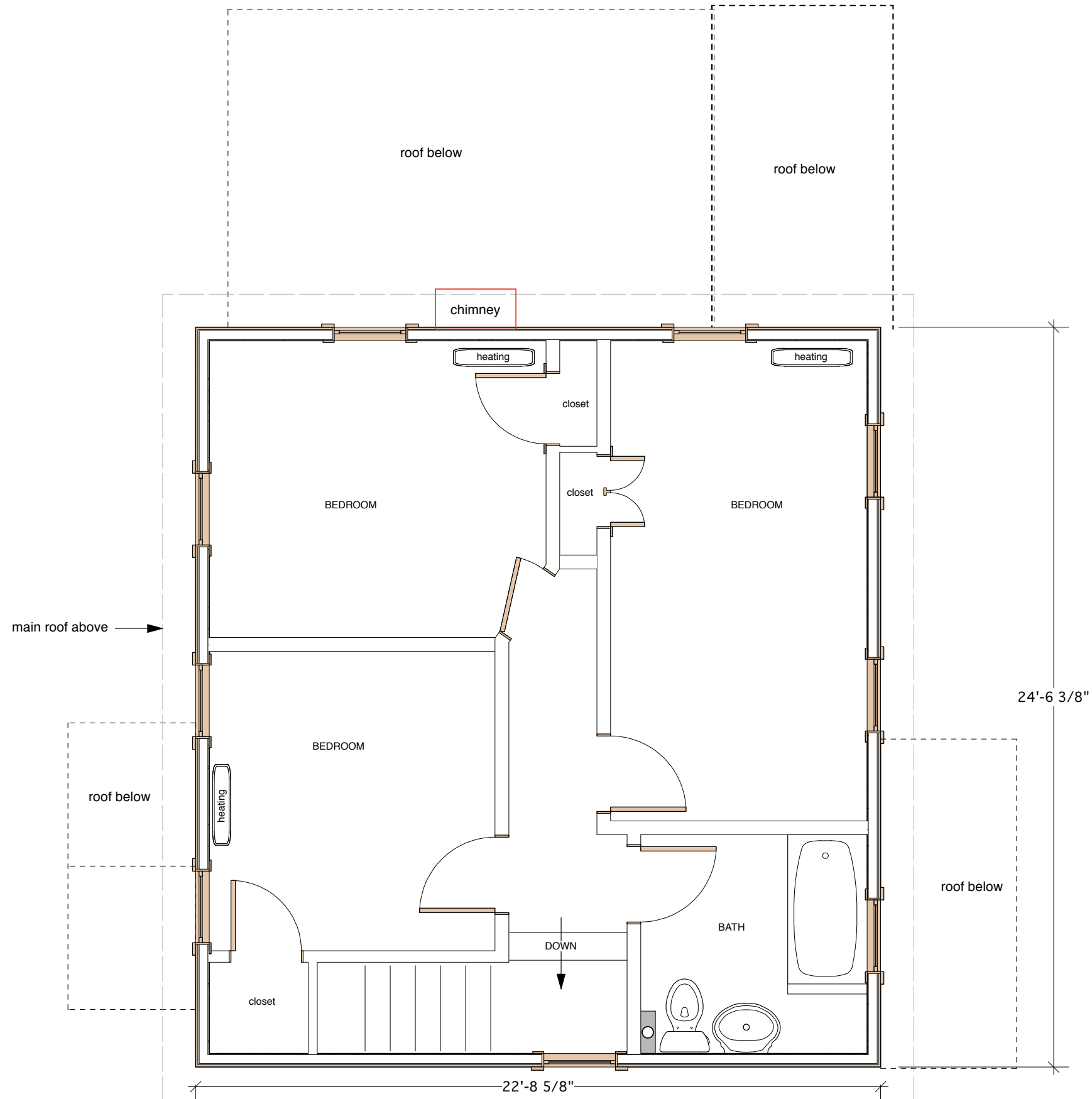
Revised: 20 Feb. 2012

Scale: 1/4" = 1'

EXISTING FIRST
FLOOR PLAN



A-02



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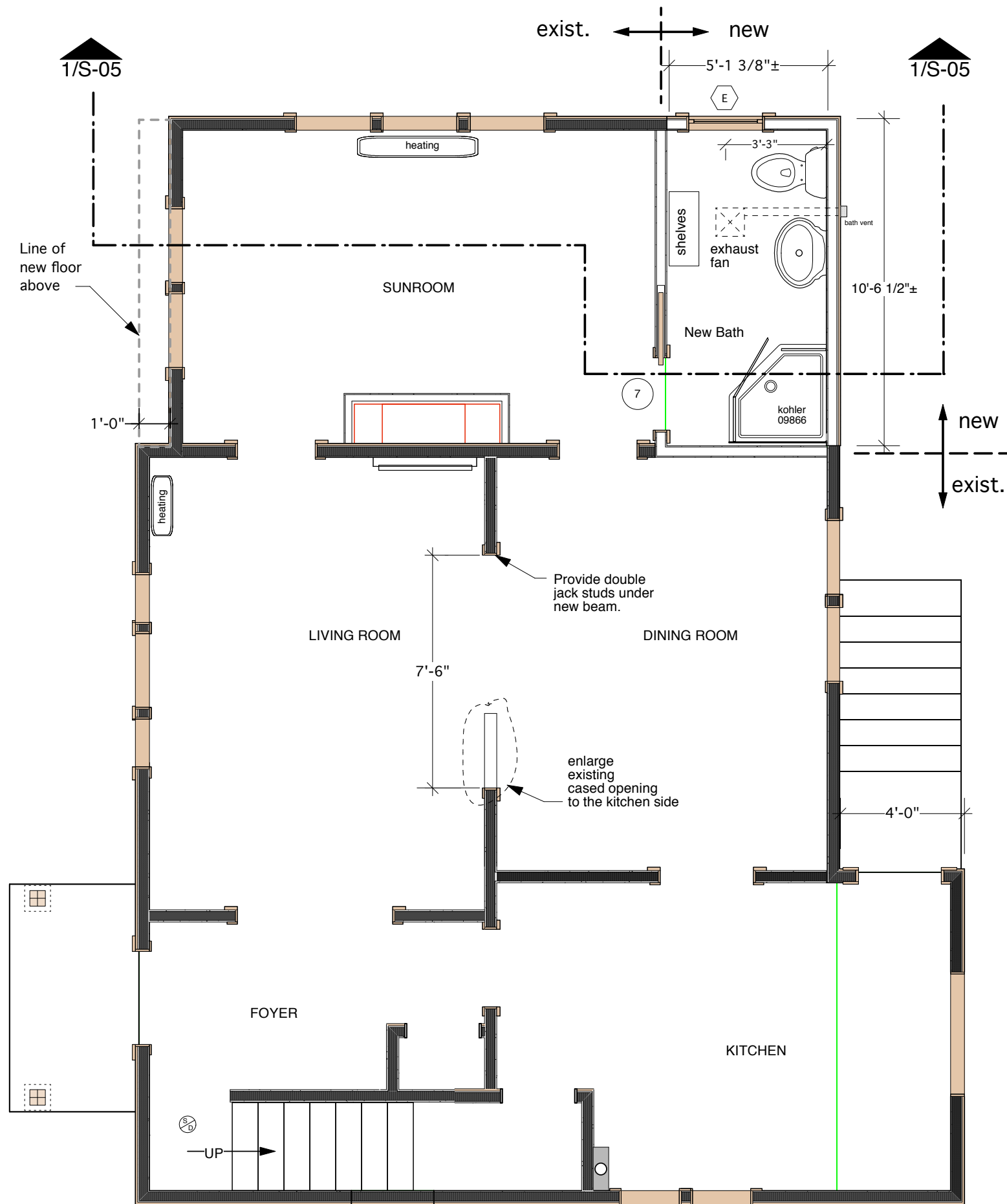
Drawn By: Roger P. Toran

Date: 20 June 2011
Revised: 20 Feb. 2012

Scale: 1/4" = 1'

EXISTING 2ND
FLOOR PLAN





Proposed First Floor Plan
Scale: 1/4" = 1'-0"

NOTES

Bath to have fan light combo.
exhausted to outside air.

Bathroom door type to be
determined between builder
and homeowner

⊗ SMOKE DETECTOR

Smoke detector location
to be verified by builder
and by Fire dept.

All Smoke detectors
to be interconnected
with battery backup
and CO detection.

Due to age of house it
is assumed to have
windbraces on existing
walls. This can only be verified
after start of project.

All new wall construction
shall be constructed in accordance
with 780 CMR 56

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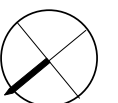
Drawn By: Roger P. Toran

Date: 20 June 2011

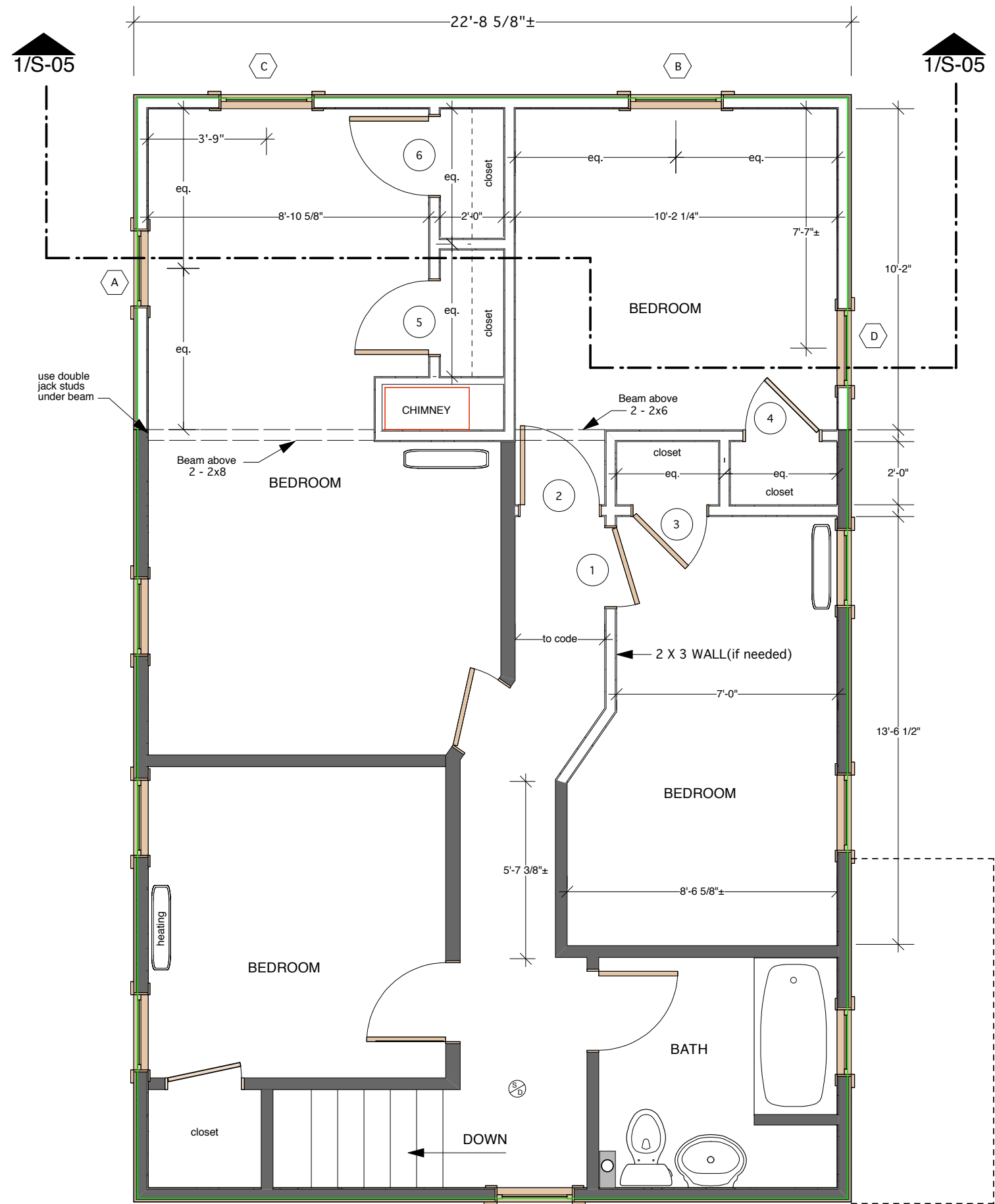
Revised: 20 Feb. 2012

Scale: 1/4" = 1'

PROPOSED 1ST
FLOOR PLAN



A-04



○ Proposed Second Floor
Scale: 1/4" = 1'-0"

NOTES

Windows C & D on end of house meet egress standard.
actual size:5.8 sq.ft...31"widex26"hiç in full open position.

Ⓢ/Ⓟ SMOKE DETECTOR

Smoke detector location to be verified by builder and by Fire dept.

All Smoke detectors to be interconnected with battery backup and CO detection.

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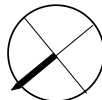
Drawn By: Roger P. Toran

Date: 20 June 2011

Revised: 20 Feb. 2012

Scale: 1/4" = 1'

PROPOSED 2ND
FLOOR PLAN



A-05

WINDOW SCHEDULE									
KEY	FLOOR	QTY.	MANUF.	MODEL #	ROUGH OPENING	TYPE	MUNTIN	ADDEND:	NOTES:
A	2	1	ANDERSEN	TW 2442	2'-6 1/8" X 4'-4 7/8"	DH	TO MATCH EXISTING	Vinyl Low E (u-.34)	hdwre and finishes by owner/builder
B	2	1	ANDERSEN	TW 210410	3'-0 1/8" X 5'-0 7/8"	DH	TO MATCH EXISTING	Vinyl Low E (u-.34)	" EGRESS WIN.(5.8sq.ft...31"widex26"high)
C	2	1	ANDERSEN	TW 210410	3'-0 1/8" X 5'-0 7/8"	DH	TO MATCH EXISTING	Vinyl Low E (u-.34)	" EGRESS WIN.(5.8sq.ft...31"widex26"high)
D	2	1	ANDERSEN	TW 2442	2'-6 1/8" X 4'-4 7/8"	DH	TO MATCH EXISTING	Vinyl Low E (u-.34)	"
E	1	1	ANDERSEN	TW 2442	2'-6 1/8" X 4'-4 7/8"	DH	TO MATCH EXISTING	Vinyl Low E (u-.34)	"

DOOR SCHEDULE								
KEY	FLOOR	QTY.	MANUF.	MATERIAL	DOOR SIZE	TYPE	JAMB	NOTES:
1	2	1	TBD	WOOD	2'-6" X 6'-6"	LEFT HAND		hdwre and finishes by owner/builder
2	2	1	"	"	2'-6" X 6'-6"	LEFT HAND		"
3	2	1	"	"	2'-4" X 6'-6"	RIGHT HAND		"
4	2	1	"	"	2'-4" X 6'-6"	RIGHT HAND		"
5	2	1	"	"	2'-4" X 6'-6"	LEFT HAND		"
6	2	1	"	"	2'-4" X 6'-6"	RIGHT HAND		"
7	1	1	"	"	2'-6" X TBD	POCKET		"

GENERAL NOTES

1.

LINTELS OVER ALL WINDOWS TO BE AS SPECIFIED.
2.

NEW FLOOR SHEATHING TO BE 3/4" CDX, APA GRADE TRADEMARKED PLYWOOD.
3.

NEW ROOF SHEATHING TO BE 5/8" CDX, APA GRADE TRADEMARKED PLYWOOD.
4.

NEW WALL SHEATHING TO BE 1/2" ZIP WALL SHEATHING, APA GRADE TRADEMARKED.
5.

ALL FRAMING AND NAILING SHALL CONFORM TO THE LATEST MASSACHUSETTS STATE BUILDING CODE.
6.

ALL NEW EXTERIOR WALL CONSTRUCTION TO BE 2 X 4 STUDS AT 16" ON CENTER. PROVIDE TYVEK OR EQUAL BUILDING PAPER OVER 1/2" "ZIPWALL" SHEATHING. ALL JOINTS TO BE BLOCKED AND NAILED TO CODE.
7.

ALL NEW INTERIOR WALL CONSTRUCTION TO BE 2 X 4 STUDS AT 16" ON CENTER.
8.

INSULATE ALL EXTERIOR WALLS WITH A MINIMUM OF R-19; PROVIDE VAPOR BARRIER.
9.

NEW FIRST FLOOR JOISTS TO BE 2 X 8 KD.
10.

NEW 2ND FLOOR JOISTS TO BE 2 X 10 KD.
11.

ANY NEW SILLS ON THE FOUNDATION SHALL BE PRESSURE TREATED LUMBER.
12.

INTERIOR WALL AND CEILING FINISH TO BE 1/2" PLASTER-BASE (BLUEBOARD) AND 1/8" MINIMUM SKIM-COAT PLASTER. WALL PLASTER FINISHES TO BE SMOOTH. CEILINGS TO BE SMOOTH. CLOSETS CAN BE TEXTURED.
13.

ALL SECOND FLOOR CEILINGS TO BE INSULATED TO A MIN. R-30 INSULATION VALUE.
14.

ALL NEW EXTERIOR WALLS TO BE INSULATED TO AN R-19 INSULATION VALUE.
15.

ALL 1/2" 'ZIPWALL' SHEATHING MUST BE BLOCKED AT ALL SEAMS AND NAILED ACCORDING TO NEW WALL BRACED SHEATHING DIAGRAMS IN MA CODE BOOK.
15.

ALL WOOD SHALL BE SPRUCE-PINE-FIR NO. 2 OR BETTER, WITH AN ALLOWABLE BENDING STRESS -- 1000 PSI REPETATIVE USAGE, NORMAL LOADING.

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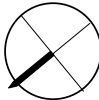
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Date: 20 June 2011

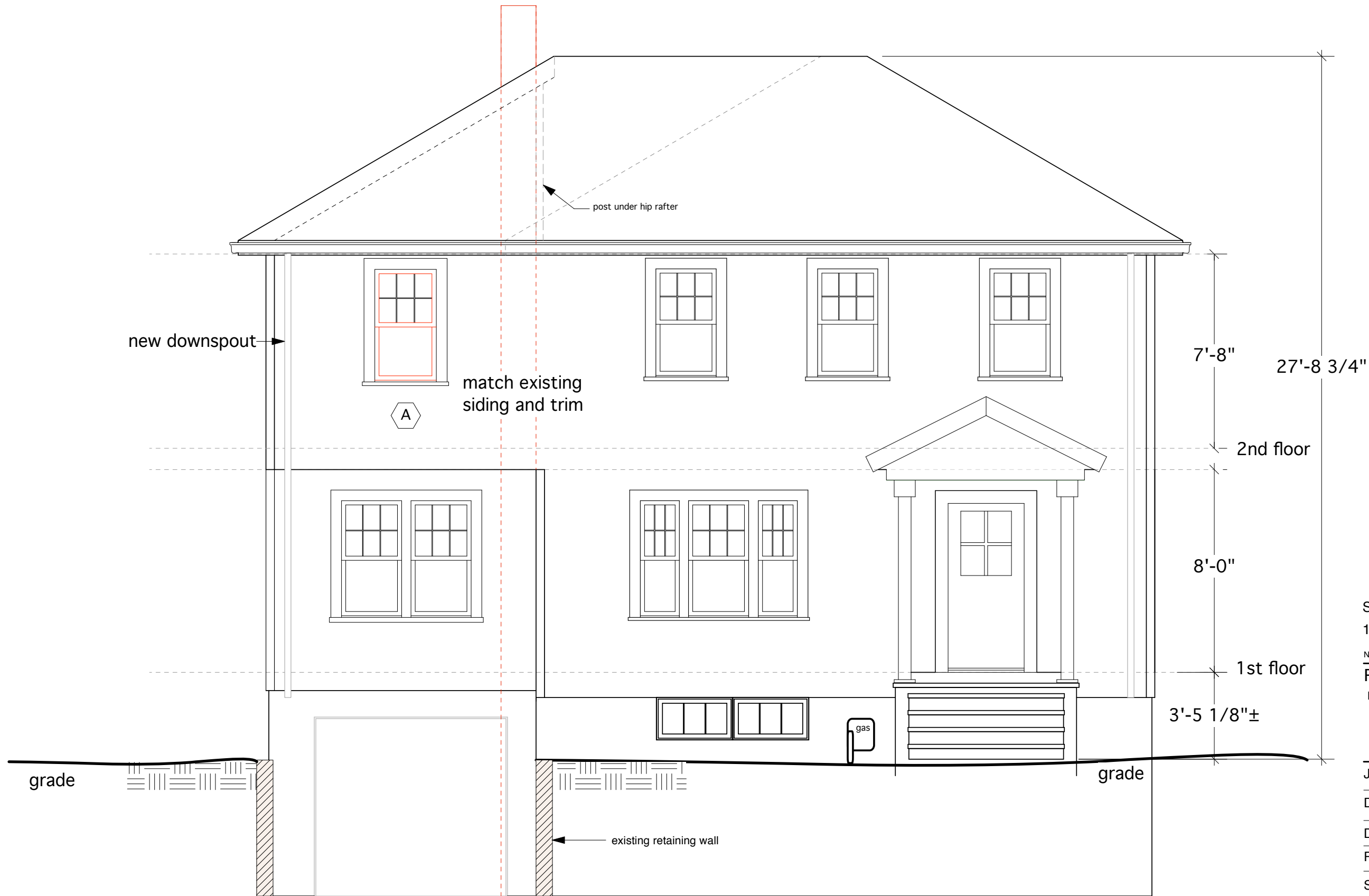
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Scale: 1/4" = 1'

D/W Schedule
General Notes



A-07



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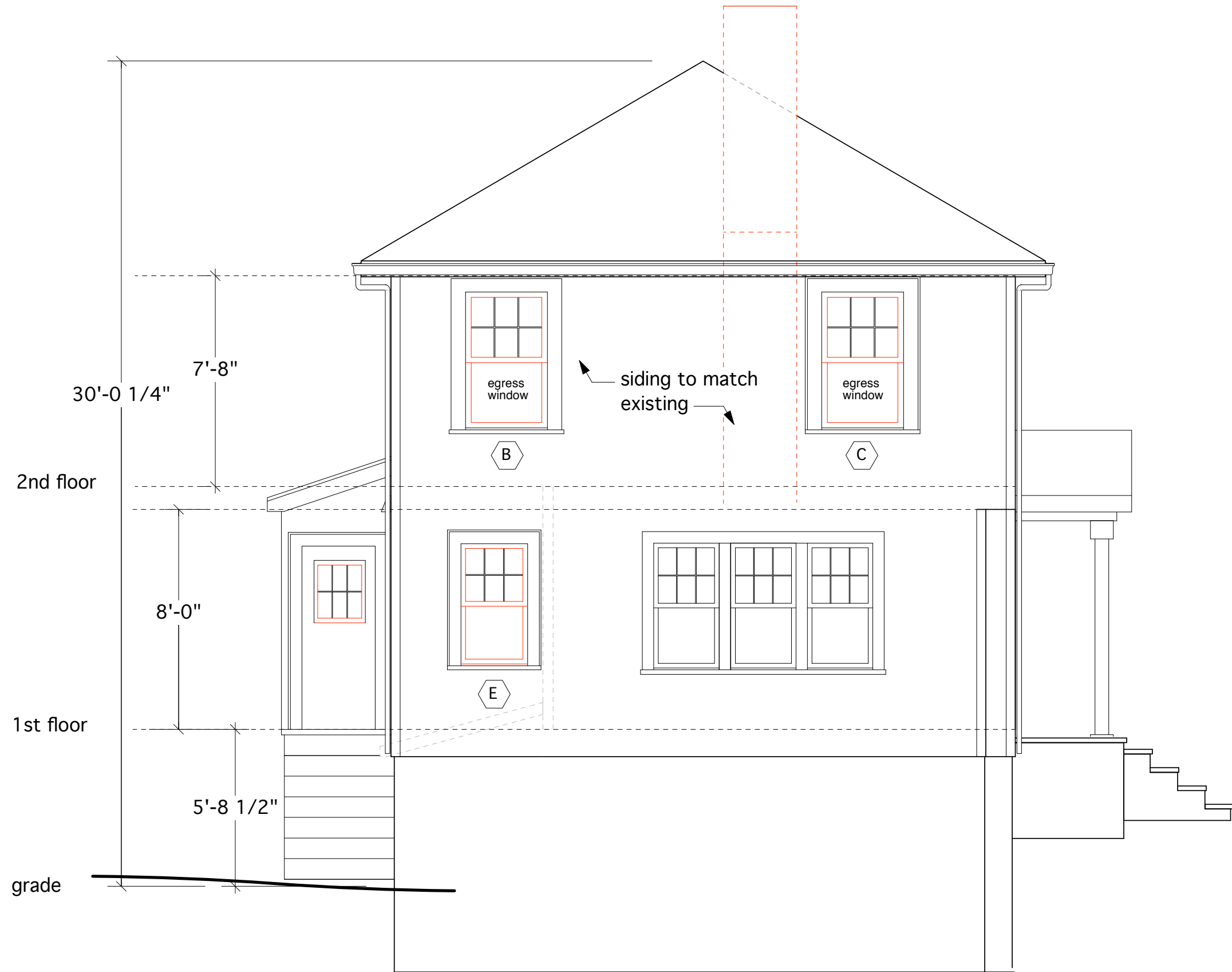
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Scale: 1/4" = 1'

FRONT ELEVATION

Front Elevation
Scale: 1/4" = 1'-0"

A-08



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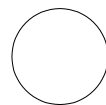
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Date: 20 June 2011

Revised: 20 Feb. 2012

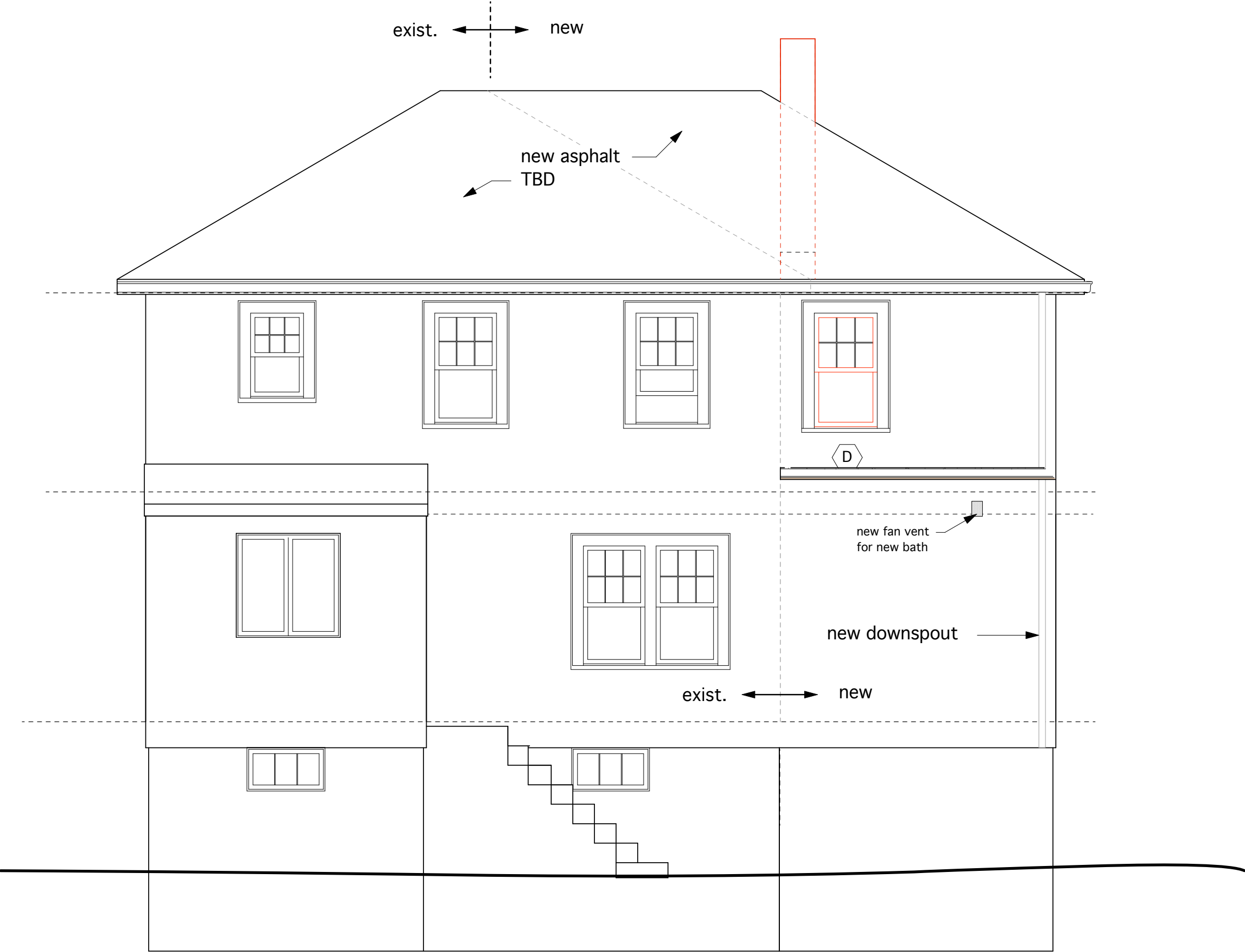
Scale: 1/4" = 1'

LEFT ELEVATION



Left Elevation
Scale: 1/4" = 1'-0"

A-09



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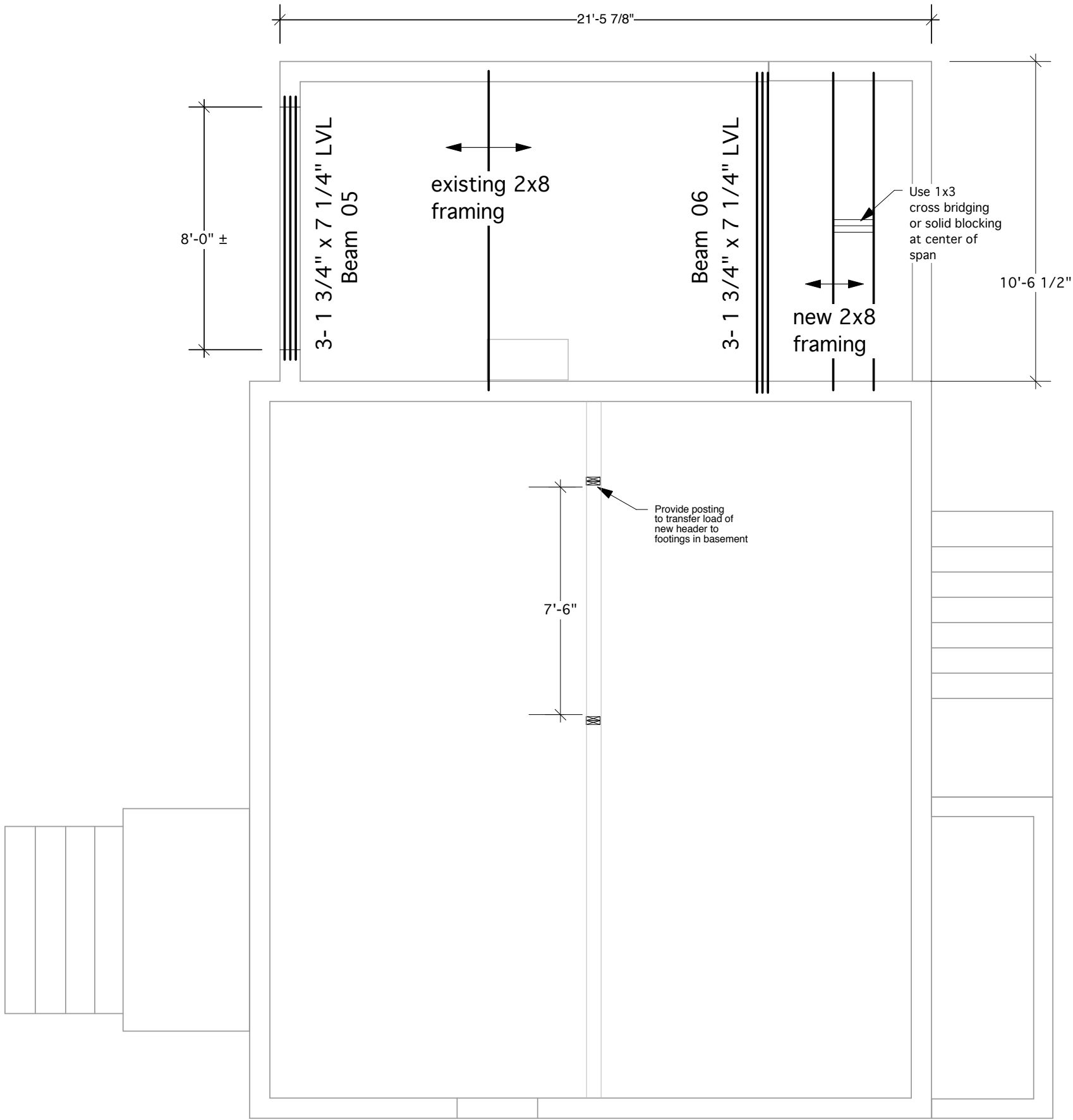
Job Number: 0911
Drawn By: Roger P. Toran
Date: 20 June 2011
Revised: 20 Feb. 2012
Scale: 1/4" = 1'

REAR ELEVATION

Rear Elevation
Scale: 1/4" = 1'-0"

NOTES

ANY NEW WOOD IN CONTACT WITH FOUNDATION TO BE PRESSURE TREATED. USE ONLY APPROVED CONNECTORS.



First Floor Framing Plan
Scale: 1/4" = 1'-0"

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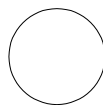
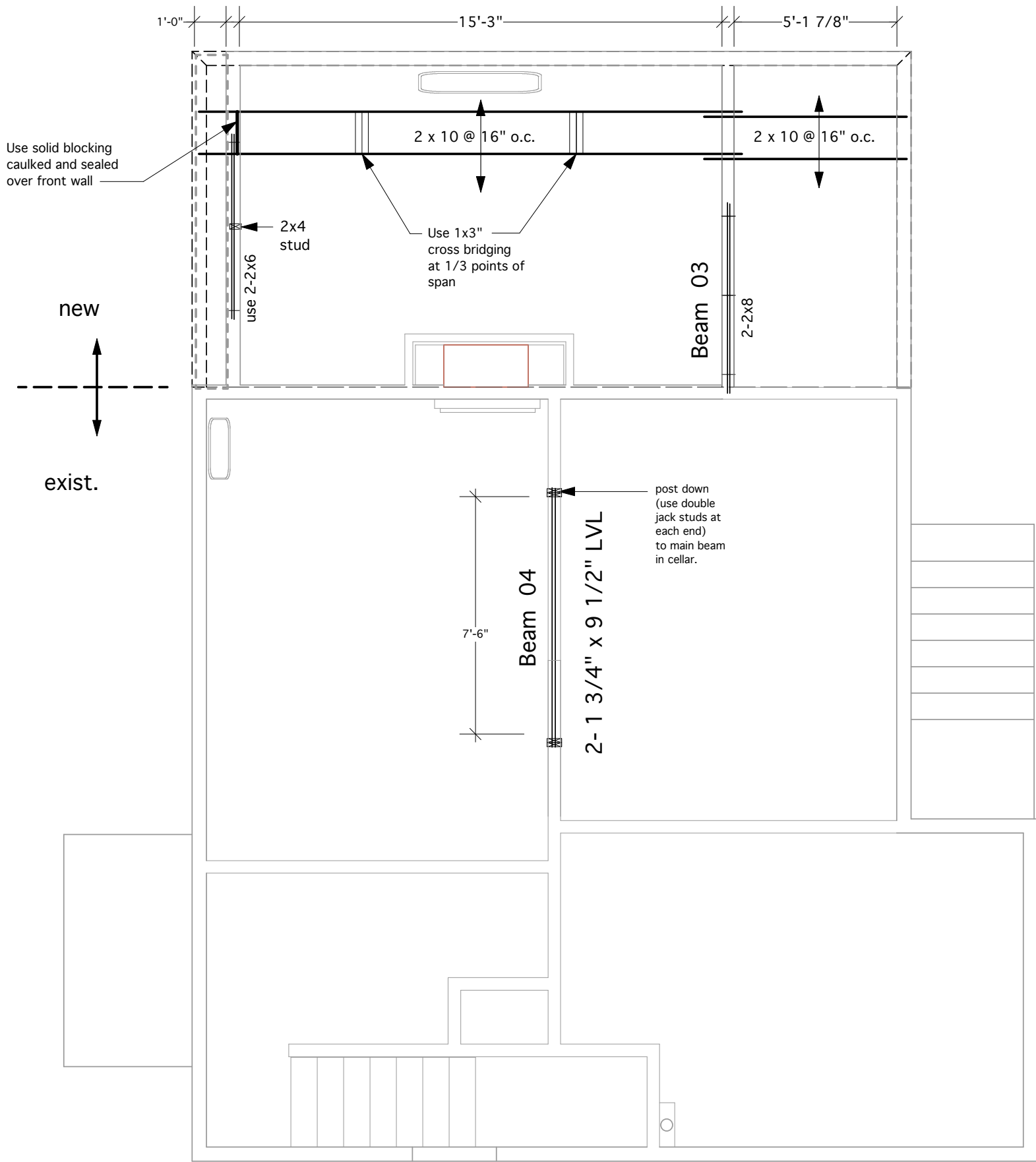
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Scale: 1/4" = 1'

1ST FLOOR
FRAMING



Second Floor Framing Plan
Scale: 1/4" = 1'-0"

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Scale:

2ND FLOOR
FRAMING



S-02

SEE SWANSON STRUCTURAL INC.
LETTER REPORT; 2/18/12

wall bracing method:
CS-WSP

Braced wall % for CS-WSP
method, first and second
story must be 16% or greater.

CALCS:

Wall A $\frac{6' \times 12}{2.5' \times 12} \times 100 = 41.6\%$

Wall B $\frac{10.5' \times 12}{10.5' \times 12} \times 100 = 100\%$

Wall C $\frac{10.5' \times 12}{8' \times 12} \times 100 = 76\%$

Wall D $\frac{23' \times 12}{16' \times 12} \times 100 = 69\%$

Wall E $\frac{10.5' \times 12}{8' \times 12} \times 100 = 76\%$

USE 1/2" 4' X10' ZIP WALL SHEATHING.
INSTALL VERTICALLY FROMTOP PLATE
TO FLOOR JOIST
MUST BE BLOCKED AT ALL SEAMS AND
NAILED ACCORDING TO NEW WALL BRACED
SHEATHING DIAGRAMS IN MA CODE BOOK.

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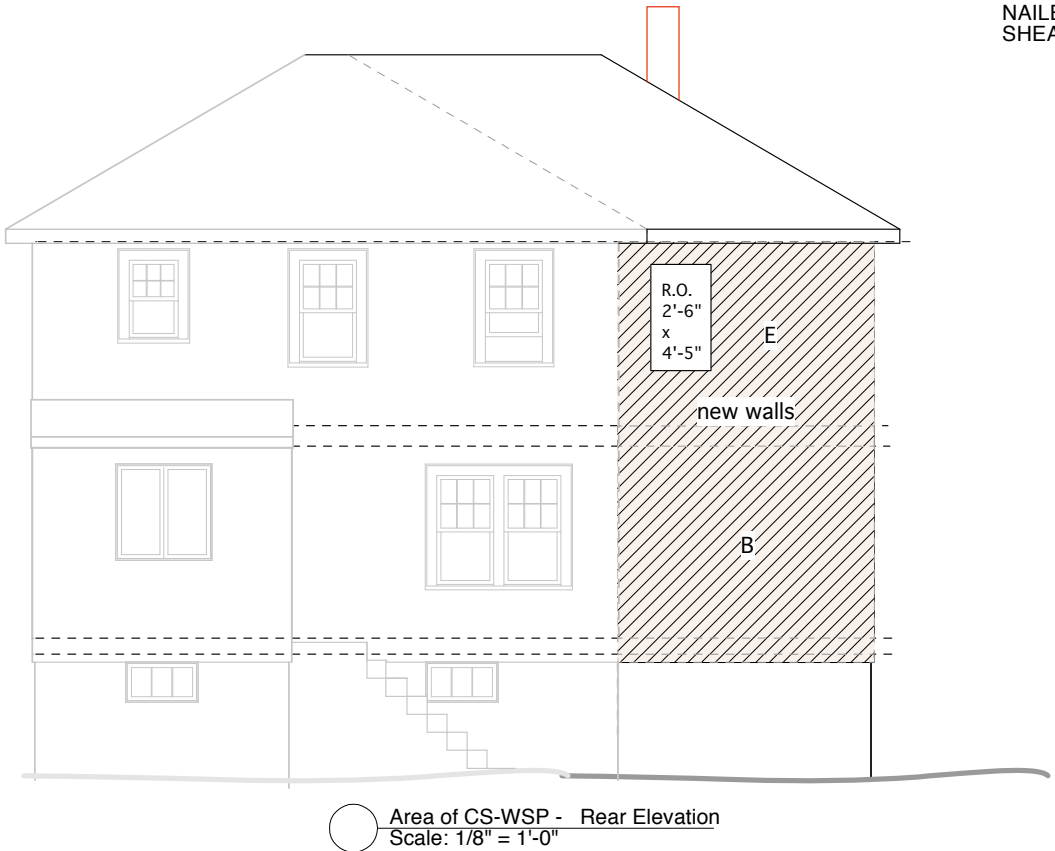
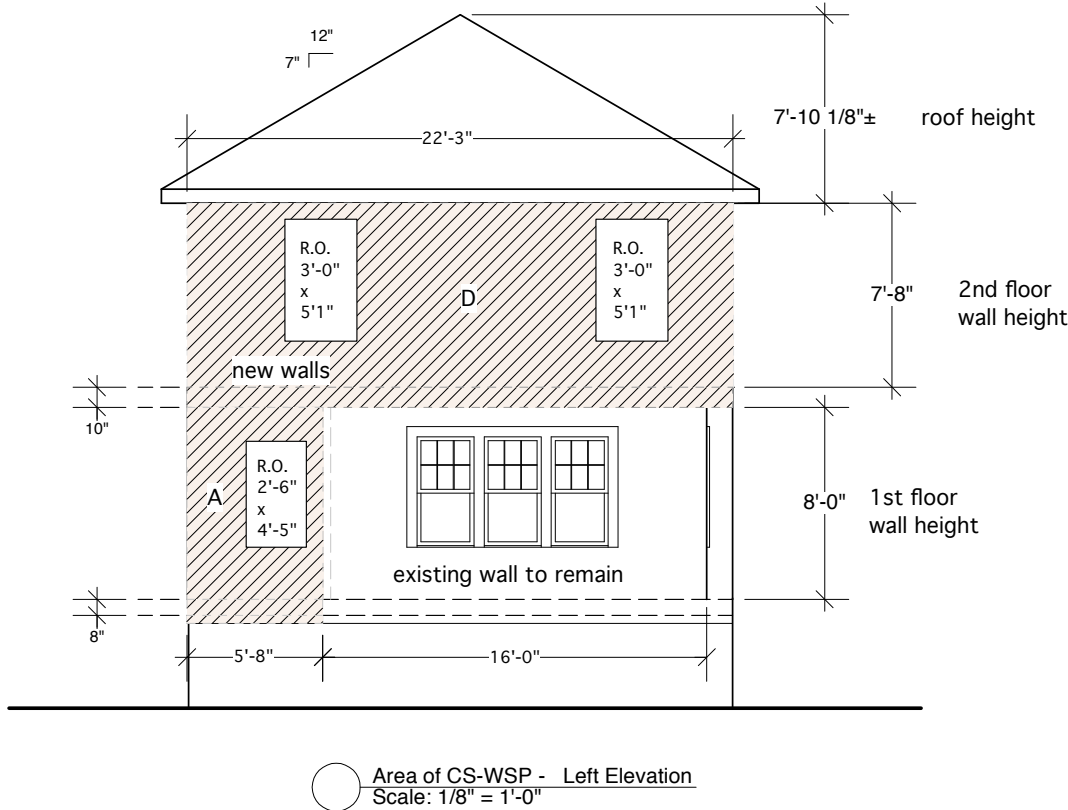
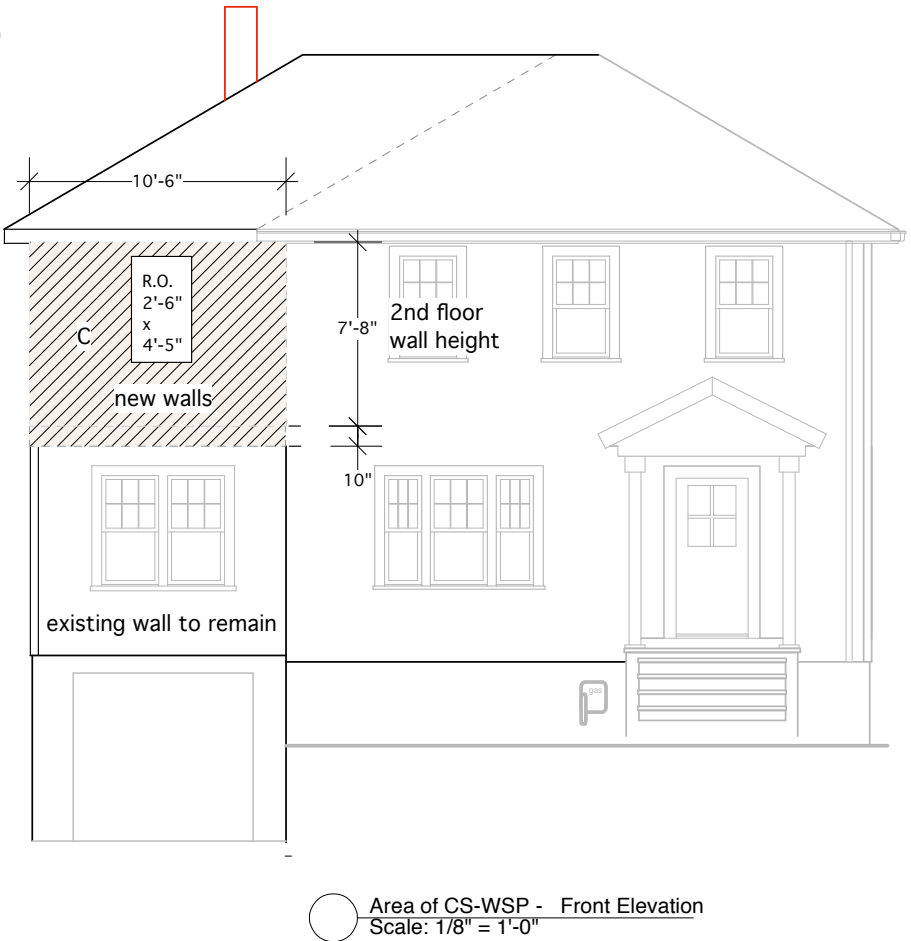
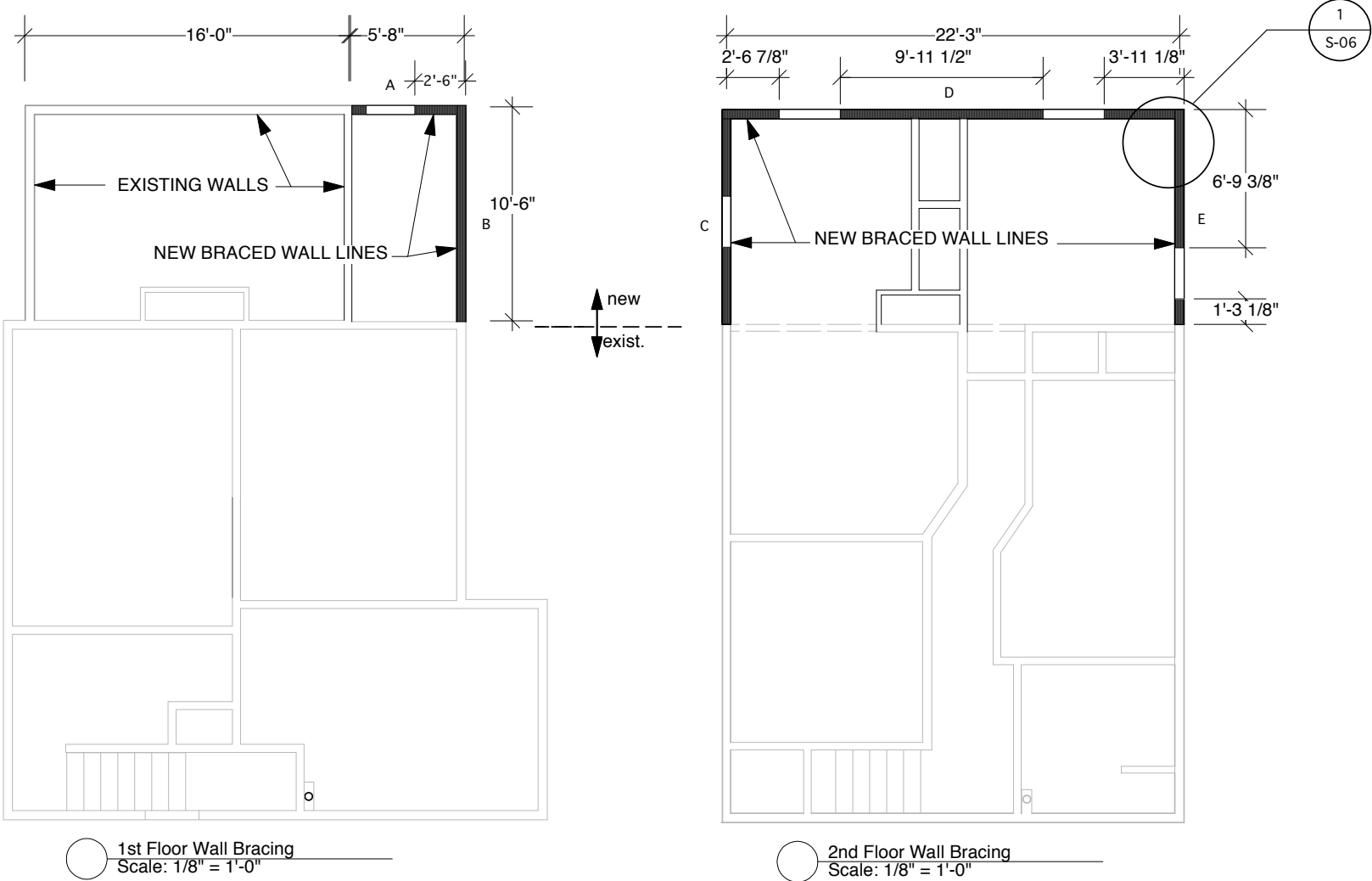
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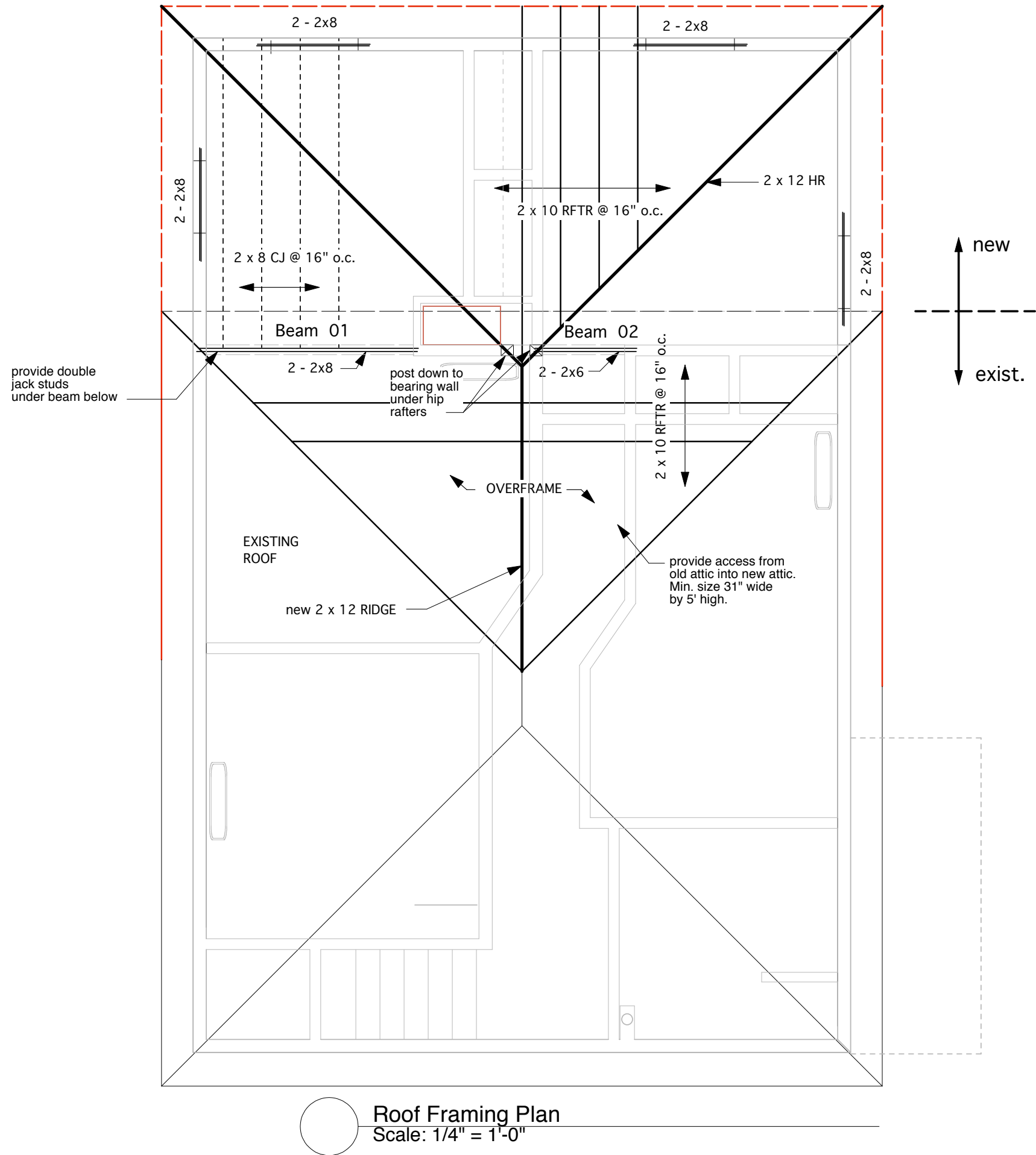
Date: 20 June 2011

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Scale: 1/8" = 1'

WALL BRACING PLAN





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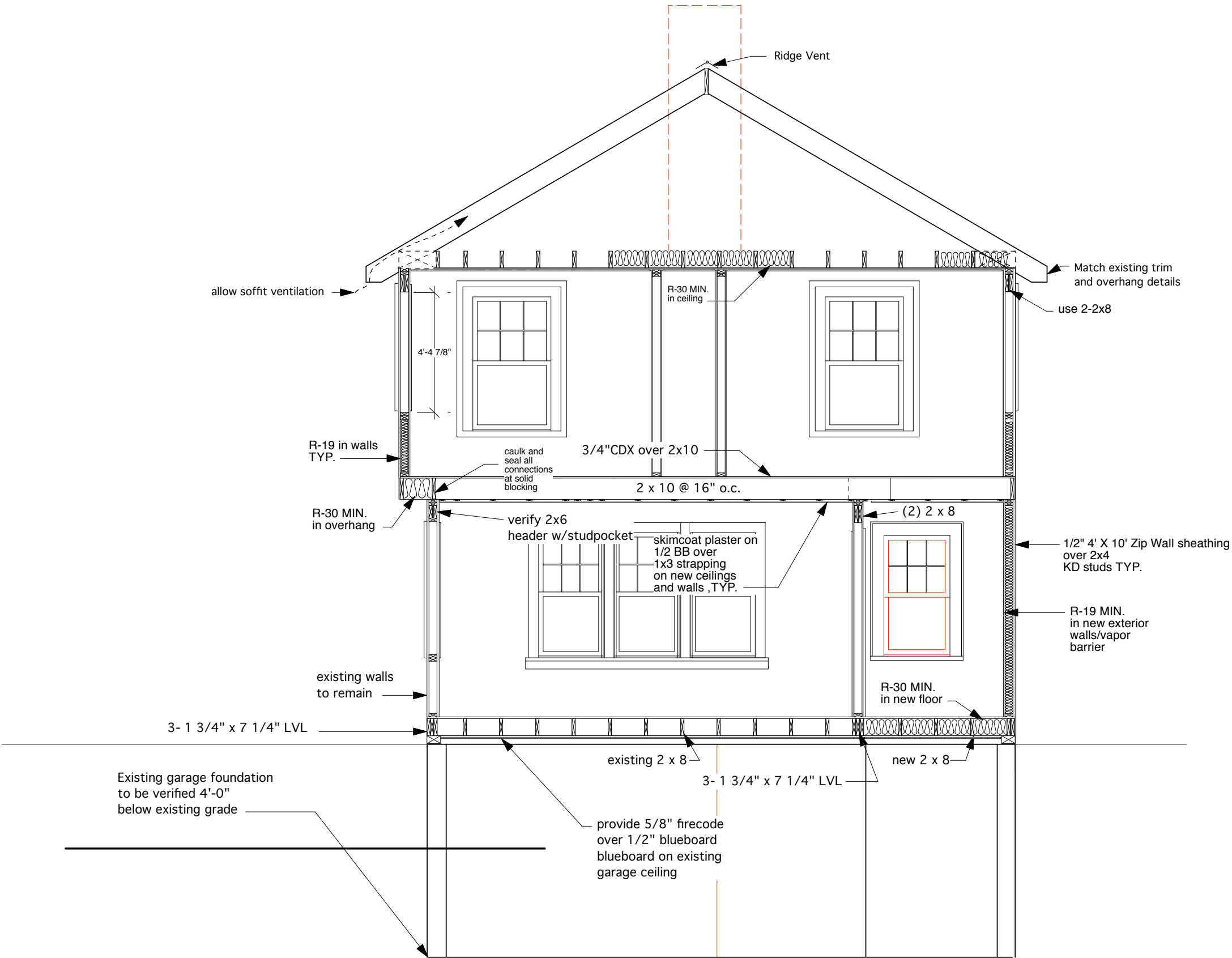
Scale:

ROOF FRAMING



S-04

Existing conditions of garage foundation verified by contractor and structural engineer. Existing foundation is 4' below grade.



1 SECTION A - A
Scale: 1/4" = 1'-0"

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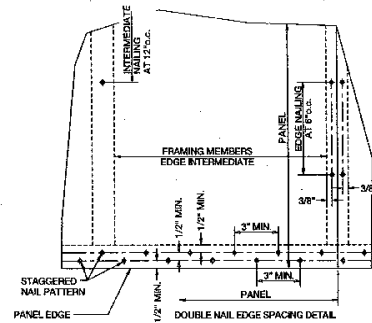
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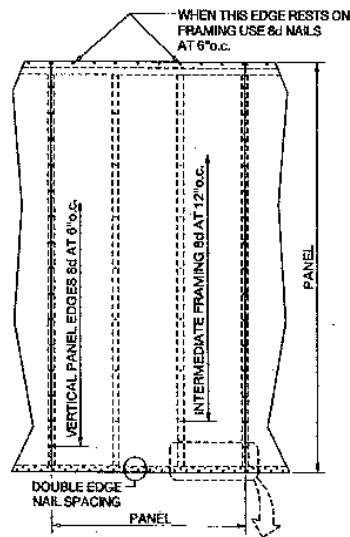
Scale: 1/4" = 1'

SECTION A-A

S-05



Detail
Vertical and Horizontal Nailing
for Panel Attachment

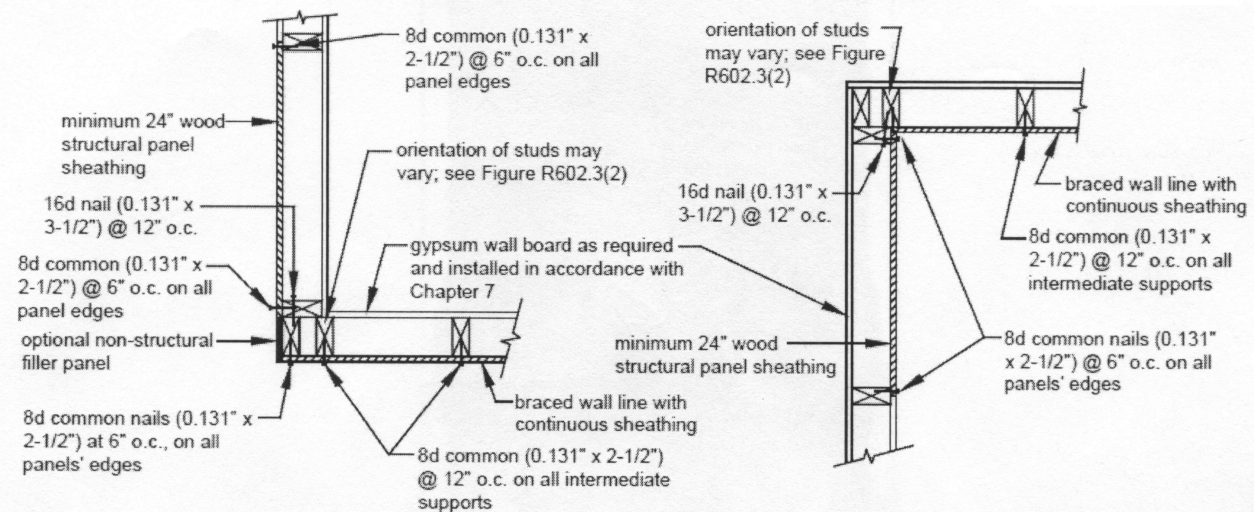


Vertical and Horizontal Nailing
for Panel Attachment

Wood Structural Panels shall be minimum thickness of 7/16" and be installed as follows:
Panels shall be installed with strength axis parallel to studs.
All horizontal joints shall occur over and be nailed to framing. Add blocking where needed as per code.
On single story construction, panels shall be attached to bottom plates and top member of the double top plate.
On two story construction, upper panels shall be attached to the top member of the upper double top plate and to band joist at bottom of panel. Upper attachment of lower panel shall be made to band joist and lower attachment made to lowest plate at first floor framing.
Horizontal nail spacing at double top plates, band joists, and girders shall be a double row of 8d staggered at 3 inches on center.

CORNER FRAMING

Corners of braced wall lines with continuous sheathing must be framed as shown in



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WALL BRACING
DETAILS